

Supplementary Planning Guidance



RESIDENTIAL EXTENSIONS



HEAD OF PLANNING AND DEVELOPMENT
ROYAL BOROUGH OF
KINGSTON UPON THAMES

JANUARY 1982

introduction – Purpose of Guidance Notes

The purpose of this pamphlet is to give advice and guidance to house owners within the Royal Borough and to draw the attention of local builders, surveyors or architects who may be advising them on how best to achieve their requirements for additional accommodation without adversely affecting the environment of their neighbourhood.

The guidance notes included in this document were adopted by the Technical Services Committee of this Council at its meeting on 4th November 1981 as supplementary planning guidance, following a period of consultation,

They should not be seen as describing the 'minimum' standards which have to be complied with, in order to be assured of a planning permission, nor is it the intention of these notes to stifle sensitive and imaginative design. Their primary aim is to enable people who are contemplating a home extension or additions to their property to have their plans prepared in the light of guidance based on the views of the Council and so reduce the possibility of delay or even refusal when their planning applications are being considered. Another important aim is to achieve and maintain an environment of high quality in this Royal Borough, which all may enjoy.

Two options are open to the householder who feels the need to add to his accommodation.

He may

- (a) either move to a bigger house or
- (b) enlarge his existing home.

Since option (a) can of course prove an expensive solution (b) is now a fairly common choice, and during 1980 the Borough Planning Officer received some 380 planning applications for extensions both to semi-detached and to terraced houses. The split was as follows:-

Extensions to Semi-Detached	Single Storey	Two Storey
279	194	85
Extensions to Terraces		
101	77	24

With these numbers it is felt desirable that the Borough establishes a set of policies, since although extensions are of general benefit to the Community in that they increase the total amount of accommodation within the Borough, their construction if not thoughtfully and skilfully carried out, may create problems for neighbouring houses and lead to a general decline in the appearance of an area.

Oversized and badly placed additions can result in a loss of sunlight, daylight or outlook for neighbours whilst unattractive additions can harm the appearance of the original house and the general street scene. These matters will be dealt with in further detail in this pamphlet.

Extending the single family house

The methods used to increase liveable space in a single family house are generally by building :-

- (a) Two storey additions
- (b) Single storey additions
- (c) Roof additions which incorporate dormer/roof lights.

Other extensions to houses are for:-

- (a) Garages
- (b) Porches

There are certain situations where planning permission for the additions mentioned above is not required. The criteria for this is generally the size by cubic capacity of extensions proposed. In this context, reference should be made to the Town & Country Planning General Development Order 1977 and subsequent amending legislation. Currently this is contained in the General Development (Amendment) Order which came into operation on 1st April 1981. It is not the purpose of this pamphlet however, to cover such situations but rather those

where planning permission is required, Nonetheless it is hoped that these notes will give guidance to those people designing extensions which do not require planning permission. Whether the additions require planning permission or not, Building Regulation Approval is required. The requirement to obtain this approval means that the plans and structure when built should comply with the Building Regulations. The Regulations, which are nationally applied, ensure that the health and safety of occupants and owners is protected by controlling the various elements that make up the completed structure. Officers of the Building Regulation Section are available to discuss the requirements of the Regulations if required.

Statutory Town Planning Requirements

It is important both to the applicant and to the planning department that unnecessary planning delay is avoided when dealing with applications, and to this end certain steps can be taken by the applicant to expedite matters.

Firstly, it is important that the drawings submitted are presented in an accurate and professional manner and to scale. Whilst it is not for this document to lay down who should design additions, generally the most desirable results are achieved when the services of an appropriately qualified and experienced professional are obtained such as an Architect or Chartered Surveyor since good design is based on skill, training and experience. However, if after reading the pamphlet, the principles set out are not understood, a member of the Council's planning staff will be pleased to discuss these with you, before you proceed with the design work. Additional guidance on the completion of application forms and the fees payable is also available.

Secondly, It is suggested that where it is appropriate you should discuss your plans with your neighbours. Although it is not a legal requirement, it is normal for adjoining owners to be consulted by the Council so that they may make observations if they wish. It follows therefore, that if you have previously discussed your scheme with them, as well as with neighbours whose property backs on to yours, they will be aware of your intentions, and you will have had an opportunity to take account of any views they may have expressed before submitting a scheme. The fact that objections are made does not however necessarily mean that planning permission will be withheld.

And thirdly, it is of great importance that due account be given to the basic principles discussed in this document. Departing from them may lead to delay while a satisfactory scheme is negotiated

Because of the diversity in house styles, It is neither possible nor desirable to create a policy document dealing with every type of addition or eventuality and different policies apply in Conservation Areas. For example, in two of the Conservation Areas within the Borough, namely Southborough, Surbiton and Liverpool Road, Kingston, there is a wide spectrum of house styles built during the last half of the 19th Century. Cases in such areas should be discussed with a member of the Borough Planning Officer's staff.

Physical Criteria

New extensions, whether they are single or double storied have an effect on their immediate environment. They create a physical as well as a visual impact.

The physical constraints on design relate to:-

- (a) The need to protect privacy for your neighbour as well as yourself.
- (b) The need to maintain daylight and sunlight for your neighbour.
- (c) The need to maintain a reasonable outlook for your neighbour.

These are all matters on which the Local Planning Authority will need to be satisfied when your application is considered.

DIAGRAM 1
Single storey rear extension
A. Area suffering loss of light.

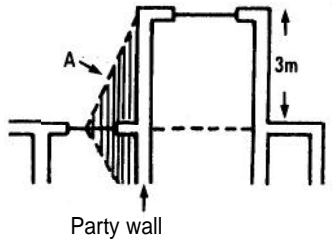


DIAGRAM 2
Single storey extension

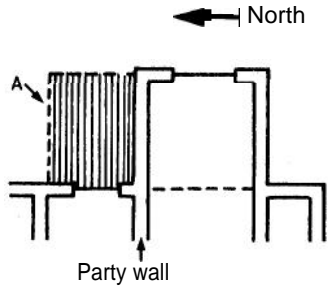
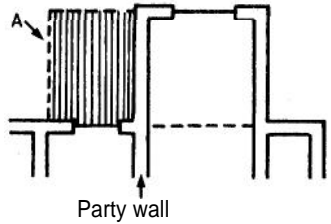


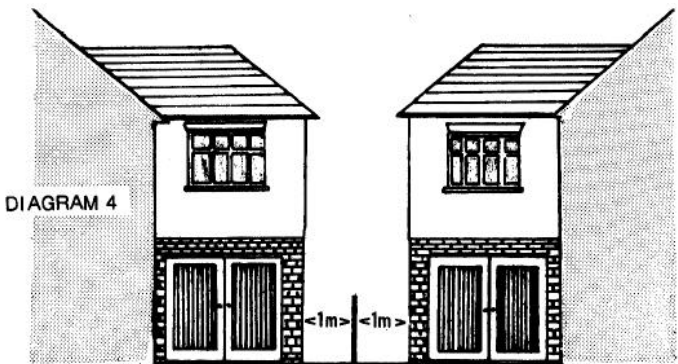
DIAGRAM 3
Two storey rear extension
A. Area in shadow at noon mid-summer.



Light and Privacy

In the case of single storey rear extensions to semi-detached or terraced housing abutting a boundary the Council has come to the view, in the light of experience that such extensions should not normally project more than 3 metres (approx. 10 feet) from the rear elevation of the house; diagram 1. If this dimension is respected the effect on daylight and sunlight is reasonable. Also, to safeguard the neighbours' privacy, the introduction of a window on the flank wall of the extension leading from the party wall will not normally be permitted: diagram 2. This will also ensure privacy for the extension's owner. Furthermore, requirements contained in the Building Regulations are also concerned with the amounts of window areas and opening contained in the flank walls of extensions that face boundaries. In giving consideration to the above-mentioned diagrams one can readily appreciate the amount of daylight and sunlight which would be lost with a two storied rear extension: diagram 3.

With two storey side extensions to semi-detached houses, a gap of approximately 1 metre between the flank wall of the extension and the boundary fence will be required whenever practicable. In this way the creation of a "terracing effect" may be avoided: diagram 4.



Because of the problems created by two storey rear extensions to terraced and semi-detached houses they are generally found to be unacceptable, because they take away the neighbours' light and affect their outlook. Large single-storey extensions may be refused for similar reasons.

Appearance

Most houses were originally designed and built as complete entities and did not take account of any need to incorporate future extensions. It is therefore necessary when considering the design of an extension to take account of the following criteria.

- (a) The extension should not dominate the existing building.
- (b) The extension should normally be of an overall shape and size that harmonises with the existing house and with the adjoining buildings. The 'original appearance' should be the reference point for any consideration of changes that may be desired.
- (c) The facing materials should ideally be the same as those used on the existing building. However, if the materials proposed are such as to be classed as combustible and the proposal is for these to be close to and facing the site boundary, this may well not be acceptable under the Building Regulations.
- (d) Features such as doors and windows on the new extension should relate to those on the original building. Heights of lintels and to a lesser extent cills should line through as should the line of the eaves. In the case of two storey additions.
- (e) The extension should be roofed to match the existing building both in shape and use of materials. In the case of a single storey rear extension, a flat roof may be acceptable, but it should be remembered that flat roofs can be prone to a number of problems unless special precautions are taken both at the design stage and when the roof is being constructed.
- (f) The unsightly bonding of new brickwork into old can, amongst other ways, be avoided by setting back the extension from the face of the existing building.

These factors listed above are shown on diagrams 5 - 7.

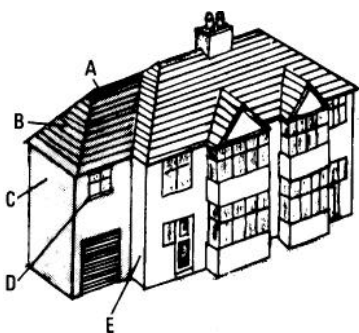


DIAGRAM 5 - Side extension to a semi-detached house.

- (A) The roof of the extension should relate to the original house in shape and proportion.
- (B) Roofing material to match existing.
- (C) Width of extension restricted to avoid terraced effect.
- (D) Window form to match original.
- (E) Front wall set back from existing face to avoid unsightly bonding.

DIAGRAM 6 - Side extension to more modern dwelling.

Same principles apply.

- (A) Pitched roof to match existing.
- (B) Width of extension restricted to avoid potential terraced effect.
- (C) Window form to match original.
- (D) Front wall set back from existing face to avoid unsightly bonding.



DIAGRAM 7 - Joint venture in a single storey rear extension.

- (A) Width of extension generally no more than 3m (10ft), bulk of extension does not dominate the original house or smaller rear gardens.
- (B) Materials and windows match those of the original house.
- (C) Flat roof reduces bulk of extension.

Materials

Care and thought should be taken with the selection of facing materials, the number of which should be kept to a minimum.

When attempting to match materials, consideration should be given to the changes which occur in their appearance due to age and weathering. The latter usually has the effect of darkening materials. In the case of recently built houses, extensions should be in the same materials as the original. When this is the case, weathering of the slightly differing parts of the building should in time lead to uniformity. Secondhand materials in 1st class condition, in particular facing bricks and roofing tiles, can often be used to advantage for extensions to older properties. But when a good match is unobtainable, a carefully selected contrasting material may be more appropriate. There is a natural desire to consider the use of cheaper materials when trying to reduce the overall cost of a scheme. However, not only in the long term will the inferior material be likely to add to maintenance costs but it may have the immediate effect of being less attractive and in this way limit the increase in value of the house.

With the previous suggestions in mind, the aim should be that the new extension integrates with the original building and does not appear "self conscious". This is usually achieved by a maximum harmony of materials between the old and new. These points are illustrated in diagrams 8 and 9.



DIAGRAM 8 - Example of an acceptable use of materials
(A) Rendering to extension matches that of original house.
(B) Brickwork matches.
(C) Roof materials match.
(D) Window form and design matches original.
In all a "well mannered" contribution to the street scene.



DIAGRAM 9 - Example of an unsatisfactory extension
(A) Windows do not relate to or line up with the original.
(B) Ship lap with tiles below.
(C) Classical garage with neo-colonial door.
(D) Railings to the top of the extension.

This extension is both alien to the street scene and introduces small areas of different materials to the design.

Roof Extensions and Dormers

The desire to utilise existing roof space has given rise to many unsightly extensions. Roof extensions are in fact often the most difficult to integrate with the original building.

When extending in the roof the following principles should be observed.

- (a) The size of the dormer windows should not be detrimental by reason of design or massing to the form of the existing roof and should not be located on the front elevation.
- (b) Dormer windows should be subordinate to the existing roof and where possible, follow the vertical lines of the existing doors and windows below. Excessively horizontal forms of dormer window should generally be avoided.
- (c) Any roof extension should not be higher than the existing roof line.
- (d) Roof lights are an alternative to the use of a dormer.
- (e) If your space requirements cannot be met within the existing roof space, having regard to the Building Regulation requirements then an alternative form of extension should be considered.

Diagrams 10 - 13 illustrate these principles.

DIAGRAM 10

An unsatisfactory dormer which is too large and projects above the ridge of the roof.

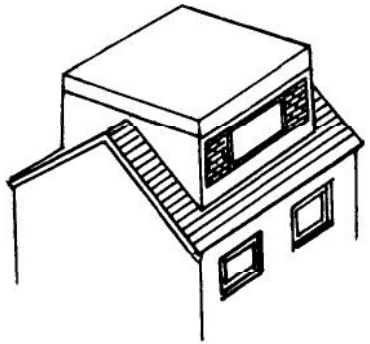


DIAGRAM 11

An unsatisfactory dormer on a hipped roof projecting above the roof line.

DIAGRAM 12

A satisfactory rear roof extension which neither dominates the building nor projects above the roof line. Such an extension should not be located on the front elevation.

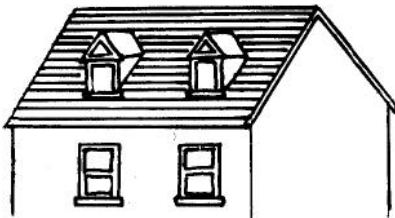
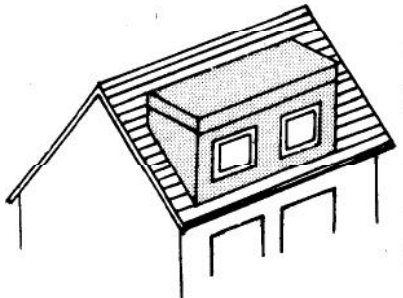


DIAGRAM 13

Satisfactory gable ended dormers giving good visual unity by lining up with the existing windows in the house.

Windows

When deciding on the form of the windows for an extension it is important to bear in mind that the proportions and sizes of the new windows should reflect those displayed in the main building, and that the two parts should appear well balanced. The proportion of window to wall is a very important factor for the appearance of the house. In addition consideration must be given to the conservation of fuel and power when preparing the design.

Too often the pleasant proportions of a traditional elevation are marred by an unfortunate choice of windows for the extension. Sometimes they may be "off the peg solutions" by manufacturing joiners, alien in form to the originals. It is usually important that rhythms of windows of the existing houses are preserved. Also, with existing houses the well defined proportions of traditional elevations are often destroyed by the introduction of new windows displaying a horizontal emphasis made worse by the addition of decorated shutters and the removal of chimney stacks.

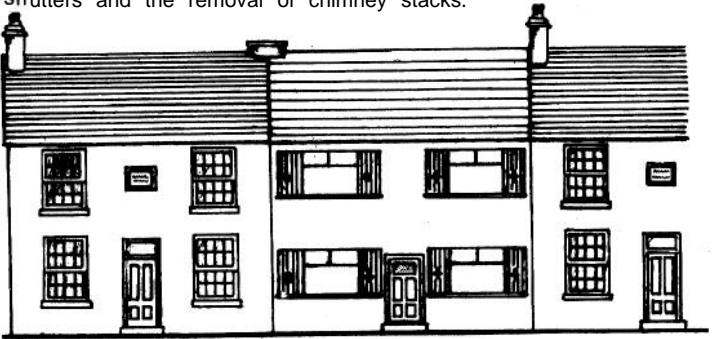


DIAGRAM 14

An unsatisfactory choice of windows which are of alien form and which destroy the rhythm of the windows in the terrace.

Porches

It is important to try to avoid abutting porches closely to existing windows, and where front doors are paired, a joint scheme with the neighbouring owner should be considered. Pitched roofs tend to look better than flat ones and particular attention should be paid to the scale and materials used when building them.

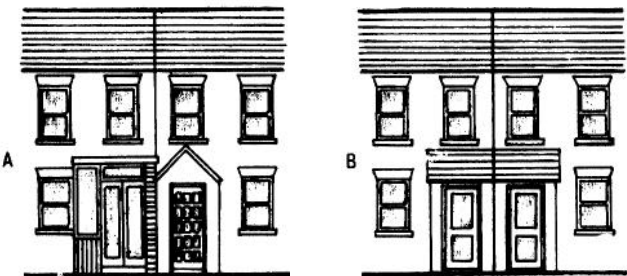
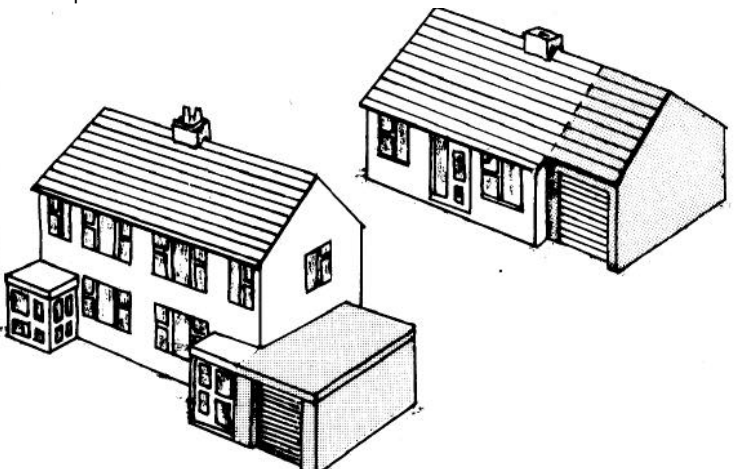


DIAGRAM 15 Unsatisfactory (A) and satisfactory (B) porches.

Garages

As with extensions, garages are usually better set back from the face of the existing house. Where possible they should follow the roof shape and materials of the existing building. However, in some cases an acceptable garage extension may be achieved by combining it with an existing feature such as a porch.



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